

GENERAL NOTES:

1. DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ENGINEERS REPORT.
2. WRITTEN DIMENSIONS WILL TAKE PRIORITY OVER SCALED MEASUREMENTS. DIMENSIONS SHOULD BE VERIFIED ON SITE BY BUILDER OR CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK.
3. ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.
4. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH SA WORK AND SAFETY ACT, REGULATIONS AND CODES OF PRACTICE 2012.
5. ALL TIMBER WALL AND ROOFING MEMBERS TO COMPLY WITH THE NATIONAL TIMBER FRAMING CODE AS-1684.2
6. ALL WET AREAS TO COMPLY WITH BCA 3.8.1 AND AS3740-2010
7. IT WILL BE THE RESPONSIBILITY OF THE ROOFER TO ENSURE THAT THE WHOLE OF THE ROOF IS WATERTIGHT.
8. ALL FIXTURE AND APPLIANCES TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
9. ALL STORMWATER SHOULD COMPLY WITH AS- 3500.2 NATIONAL PLUMBING CODE. 90dia UPVC STORMWATER SYSTEM TO BE CONNECTED TO DOWNPIPES AND DISCHARGED TO APPROVED COUNCIL OUTLETS.
10. WIND SPEED AREA N2 33m/s. ALL WINDOWS AND DOORS TO COMPLY WITH AS 2047- WINDOWS AND DOORS IN BUILDING TO MEET N2 WIND SPEED REQUIREMENTS. ALL GLAZING TO COMPLY WITH AS1288 AND NCC PART 3.6.
11. DRAUGHT PROTECTION DEVICES TO BE FITTED TO EDGES OF EXTERNAL DOORS.
12. (S) SELF CONTAINED HARD WIRED SMOKE ALARM COMPLYING WITH AS3786 CONNECTED TO CONSUMER MAINS WITH BATTERY BACK UP. SMOKE ALARMS TO BE INTERCONNECTED COMPLYING WITH BCA 2014.
13. EFFLUENT TO DISCHARGE TO SA WATER SEWER NETWORK IN ACCORDANCE WITH S.A. HEALTH COMMISSION & COUNCIL REQUIREMENTS.
14. NO BRUSH FENCES ARE TO BE WITHIN 3m OF THE BUILDING WORKS.
15. ALL ELECTRICAL WORKS SHALL COMPLY WITH AS 3000. ELECTRICAL REQUIREMENTS & LAYOUT TO BE DISCUSSED & CONFIRMED ON SITE WITH OWNER.
16. ALL EXPOSED STEELWORK, LINTELS ETC. SHALL BE HOT DIPPED GALVANISED. ALL BOLTS, NUTS AND WASHERS SHALL BE HOT DIPPED GALVANISED. ALL NAILS SHALL BE GALVANISED.

INSULATION:

ROOFING: R4.1 INSULATION TO CEILING WITH SARKING OVER ROOF PURLINS
 WALLS: R2.5 WALL BATTS INSULATION TO EXTERNAL WITH SARKING WEATHER BARRIER WALLS UNLESS NOTED OTHERWISE.
 R2.0 INSULATION TO INTERNAL WALLS UNLESS NOTED OTHERWISE.

TERMITE TREATMENT:

PROVIDE A TERMITE PROTECTION BARRIER TO AS3660.1 AND INSTALLED TO MANUFACTURER'S SPECIFICATIONS.

NEW BUILDING AREAS:

LIVING: 45m²
 VERANDAS: 78m²
 CARPORT: 21m²

CONSTRUCTION NOTES:

DURING CONSTRUCTION AND AT ALL TIMES THEREAFTER, STORMWATER GENERATED FROM THE DEVELOPMENT SHALL BE DIVERTED AWAY FROM ALL BUILDINGS, SHALL NOT POND AGAINST OR NEAR THE FOOTINGS, AND SHALL NOT BE DISCHARGED ONTO ADJOINING LAND.

DURING CONSTRUCTION EFFECTIVE MEASURES MUST BE IMPLEMENTED TO:

- PREVENT SILT RUN OFF FROM THE LAND TO ADJOINING PROPERTIES ROADS AND DRAINS.
- CONTROL DUST ARISING FROM THE CONSTRUCTION AND OTHER ACTIVITIES, SO AS NOT TO, IN THE OPINION OF COUNCIL, BE A NUISANCE TO RESIDENTS OR OCCUPIERS ON ADJACENT OR NEARBY LAND.
- ENSURE THAT SOIL OR MUD IS NOT TRANSFERRED ONTO THE ADJACENT ROADWORKS BY VEHICLES LEAVING THE SITE.
- ENSURE THAT ALL LITTER AND BUILDING WASTE IS CONTAINED ON THE SUBJECT SITE IN A SUITABLE COVERED BIN OR ENCLOSURE.
- ENSURE NO SOUND IS EMITTED FROM ANY DEVICE, PLANT OR EQUIPMENT OR FROM ANY SOURCE OR ACTIVITY TO BECOME AN UNREASONABLE NUISANCE, IN THE OPINION OF COUNCIL, TO THE OCCUPIERS OF ADJACENT LAND.



SITE PLAN

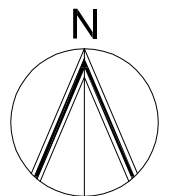
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LEGEND/NOTES

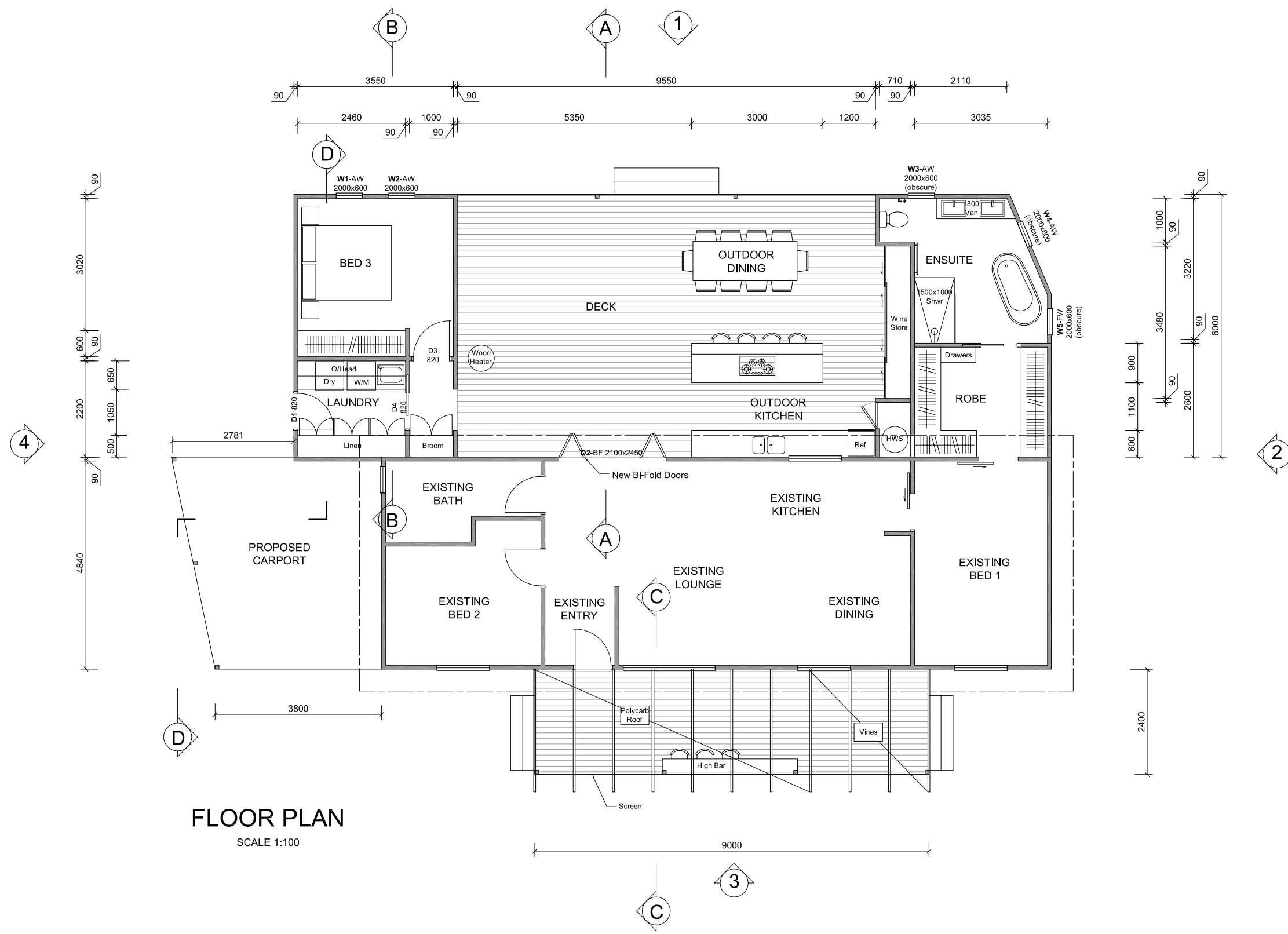
- DP(E) EXISTING DOWNPIPE
- DP DOWNPIPE
- 90 DIA. PVC SEALED UNDERGROUND STORMWATER PIPE
- xxx.xx DENOTES EXISTING DESIGN LEVELS
- xxx.xx DENOTES NEW DESIGN LEVELS
- ALL FINISHED LEVELS TO BE CONFIRMED ON SITE BY OWNER AND BUILDER

PROPOSED AREA OF DEVELOPMENT

REFER TO CERTIFICATE OF TITLE FOR DETAILS REGARDING BOUNDARY DIMENSIONS, ENCUMBRANCES AND EASEMENTS.



PROJECT: Addition to Existing Dwelling CLIENT: Mike and Trinh Richards SITE ADDRESS: 5 Shephard Road ALDINGA BEACH SA 5173	<h2 style="margin: 0;">SITE PLAN</h2>		Rev. Remarks Date A Issued for Planning Approval 5APR22		10 WIGLEY DRIVE McLAREN VALE Mob: 0448 656 254 Email: stevelaytondesign@bigpond.com ABN: 40 248 246 245
	SCALE: 1:200 UNO DRAWN BY: S.LAYTON DATE: 5 Apr2022				



FLOOR PLAN
SCALE 1:100

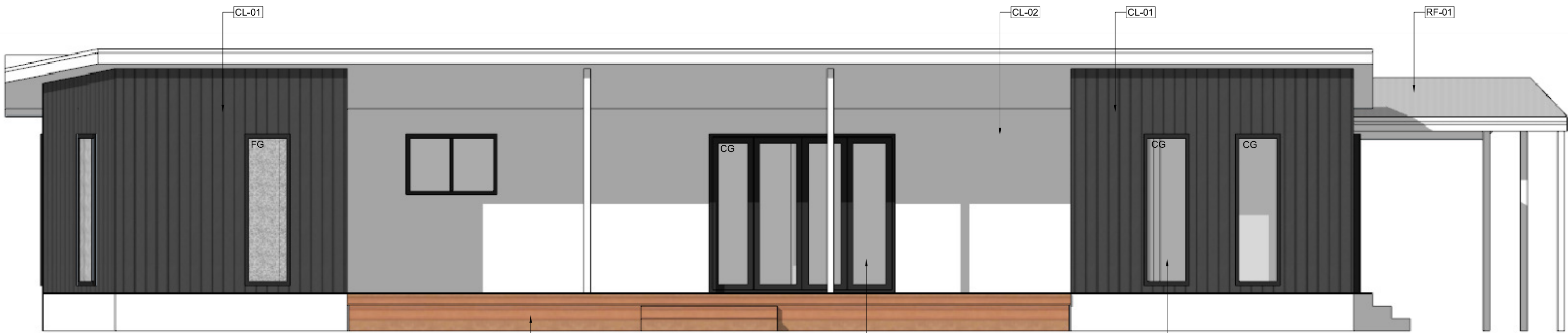
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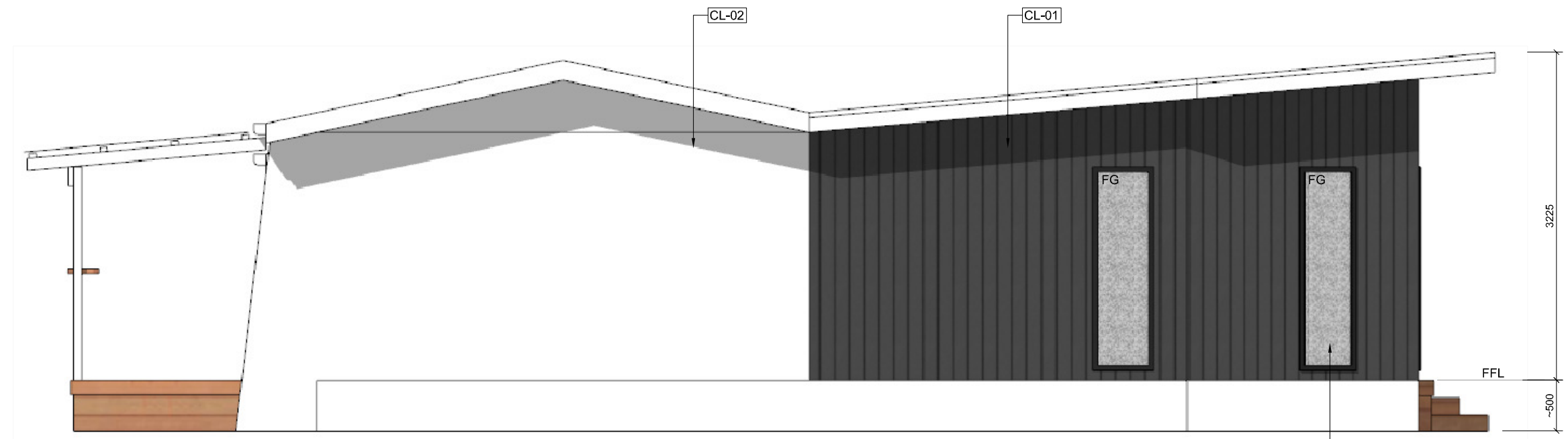


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ELEVATION 1
SCALE 1:100

SELECTED HARDWOOD DECK
ALUMINIUM FRAMED BI-FOLD DOORS
ALUMINIUM FRAMED WINDOWS



ELEVATION 2
SCALE 1:50

EXTERIOR FINISHES SCHEDULE	
CL-01	CLADDING - AXON 133mm SMOOTH - MONUMENT
CL-02	REFURBISH EXISTING RENDERED WALLS - PAINT OFF-WHITE
RF-01	CLADDING COLORBOND CUSTOM ORB - SHALE GREY
PA-01	PAINTED FINISH - OFF WHITE
CG	CLEAR GLASS
FG	FROSTED GLASS
	ALL WINDOW AND DOOR FRAMES - MONUMENT

CONFIRM ALL COLOURS AND FINISHES WITH OWNER PRIOR TO PROCUREMENT

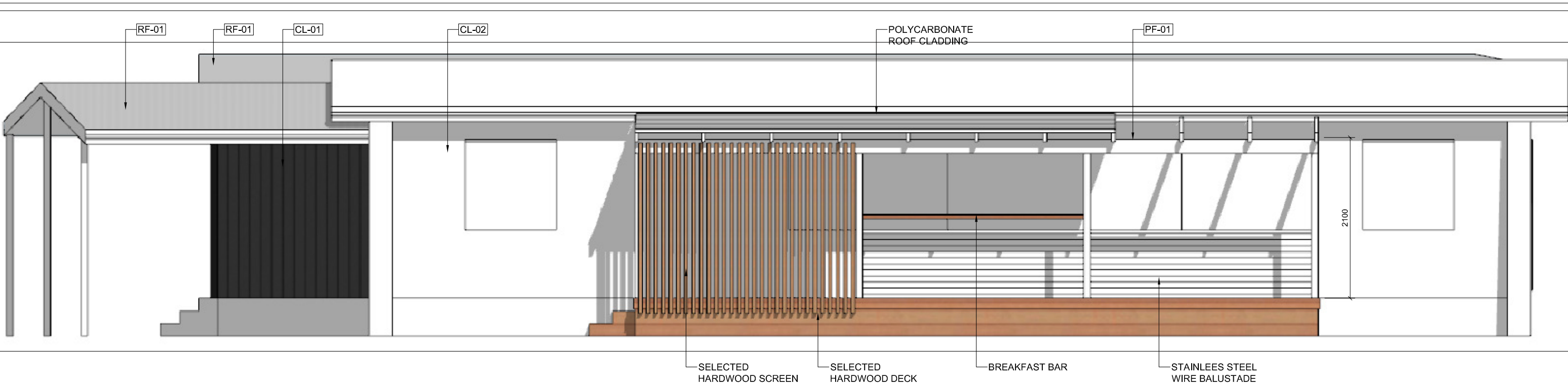
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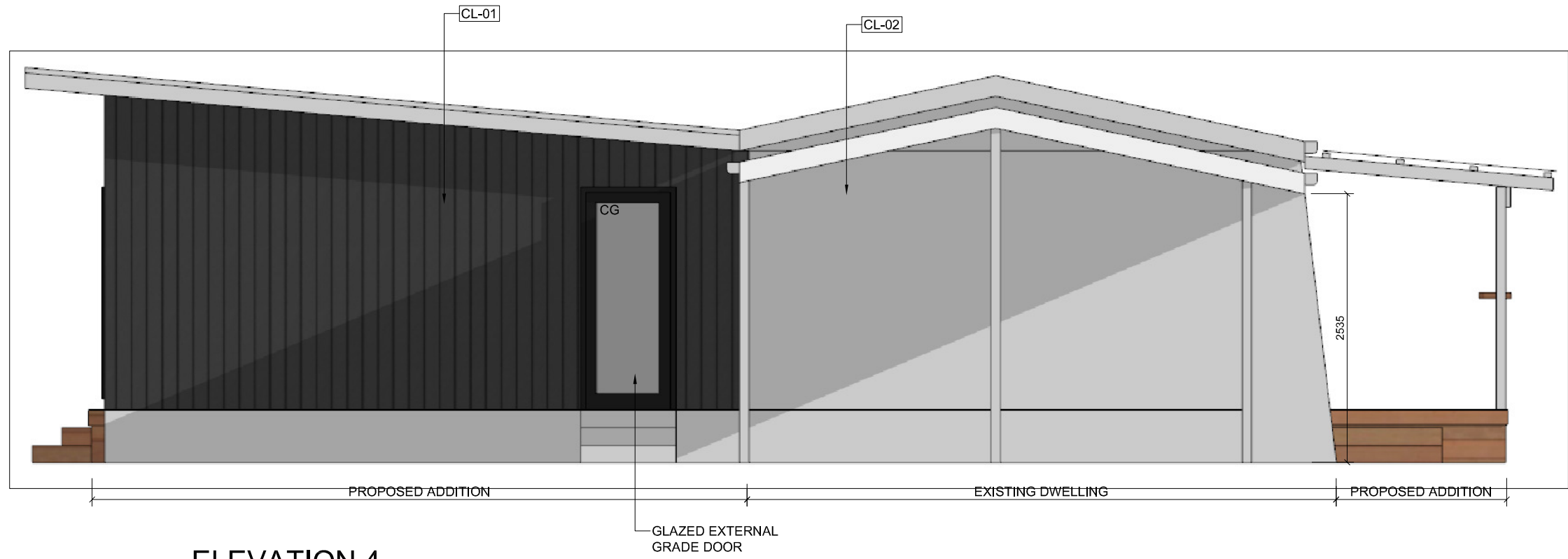
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ELEVATION 3
SCALE 1:100



ELEVATION 4
SCALE 1:50

EXTERIOR FINISHES SCHEDULE	
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CL-02	REFURBISH EXISTING RENDERED WALLS - PAINT OFF-WHITE
RF-01	CLADDING COLORBOND CUSTOM ORB - SHALE GREY
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	ALL WINDOW AND DOOR FRAMES - MONUMENT

CONFIRM ALL COLOURS AND FINISHES WITH OWNER PRIOR TO PROCUREMENT

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ELEVATIONS

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FOR ILLUSTRATION PURPOSE ONLY, REFER TO
TECHNICAL DRAWINGS FOR DETAILS

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ARCHITECTURALS

SCALE: N.T.S.
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WALL FRAMING & BEAM LAYOUT SCALE 1:100

WALLS

ALL FRAMING TO COMPLY WITH AS1684

TOP PLATE: 90x45 10mm MAX. TRENCHING or 90x35 WITHOUT TRENCHING
 BOTTOM PLATE: 90x45 10mm MAX. TRENCHING or 90x35 WITHOUT TRENCHING
 STUDS: 90x35 AT 600 MAX. CENTRES GENERAL
 AT 450 MAX. CENTRES WET AREAS
 NOGGINGS: 90x35 AT 1350 MAX. CENTRES

JAMB STUDS EACH SIDE OF OPENINGS:
 - OPENINGS UP TO 1200mm - 1/90x45
 - OPENINGS 1200mm TO 2400mm - 2/90x35
 - OPENINGS 2400mm TO 3300mm - 2/90x45
 - OPENINGS 3300mm TO 4000mm - 3/90x35
 - OPENINGS 4000mm TO 4500mm - 3/90x45

STUDS SUPPORTING CONCENTRATED LOADS:
 S145 - 1/90x45
 S235 - 2/90x35
 S245 - 2/90x45
 S345 - 3/90x45
 S445 - 4/90x45

POSTS: P1 - 90x90 F7 - H3 TREATED PINE POSTS

STUDS TO BE LOCATED DIRECTLY BELOW TRUSSES AND RAFTERS OR WITHIN 60mm UNLESS RIBBON PLATE IS USED TO ALLOW RANDOM PLACEMENT OF TRUSSES

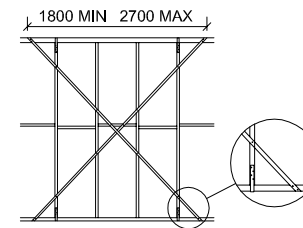
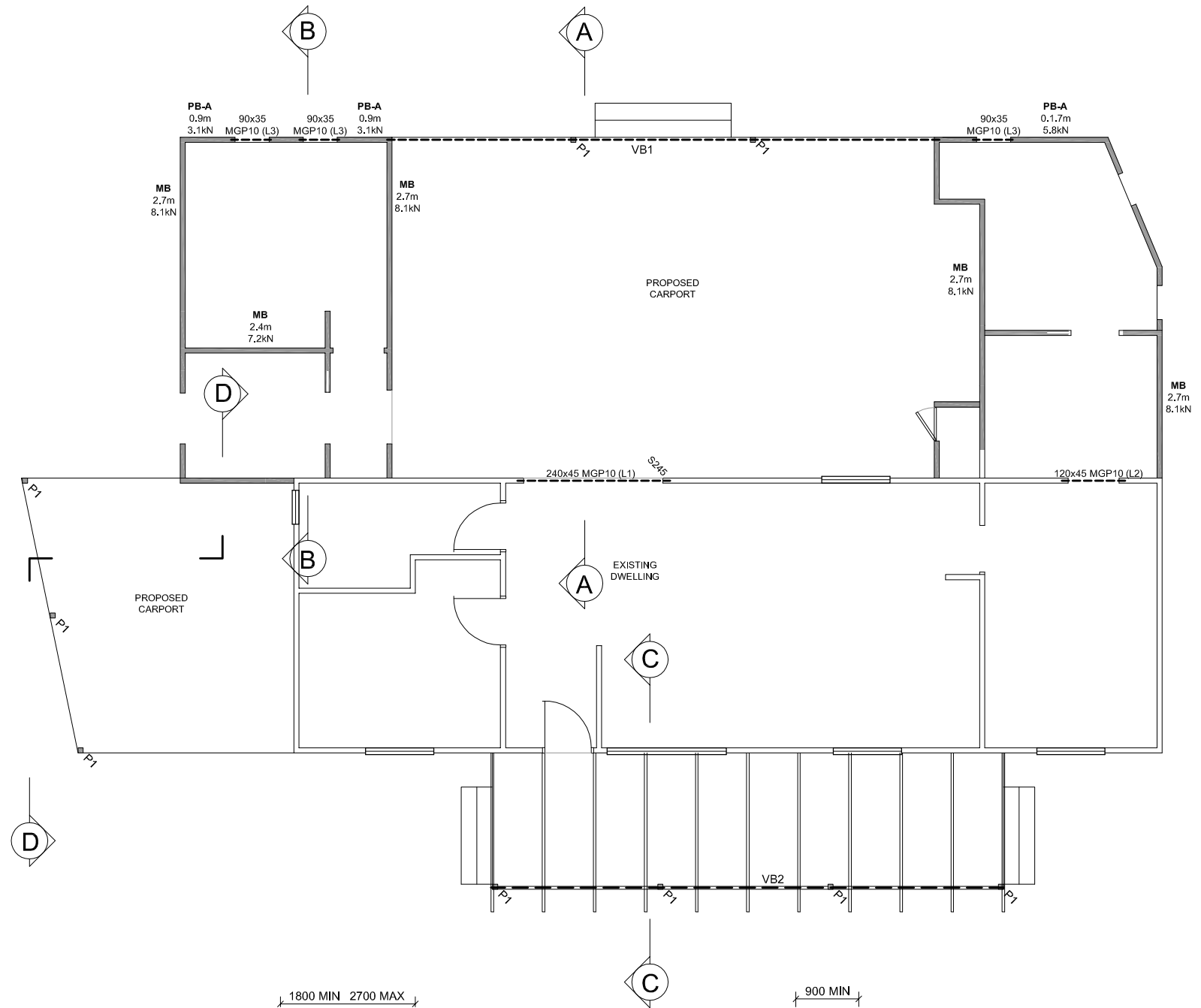
ALL TIMBER FRAMING TO BE MINIMUM MGP10 OR F7 PINUS RADIATA TREATED TO H2 UNLESS NOTED OTHERWISE

FIXINGS

3.05mm x 75mm LONG NAILS
 TOP PLATE TO STUD: 2 SKEWED NAILS PER STUD
 BOTTOM PLATE TO STUD: 2 SKEWED NAILS PER STUD

BRACING TABLE				
WIND DIRECTION	PROJECTED AREA m ²	PRESSURE kPa	FORCE kN	TOTAL RESISTANCE
↑	33	0.92 (N2)	30.4	32.4
↔	11	0.92 (N2)	10.1	19.1

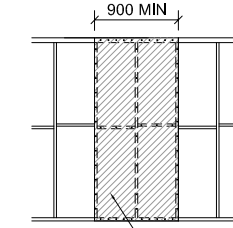
NOTE: THIS DOES NOT INCLUDE EXISTING BRACING.



MB TENSIONED METAL STRAP BRACING WITH STUD STRAPS (AS1684)
 3.0kN PER METRE

METAL TENSION STRAP BRACING 30mm WIDE x 1.0mm THICK, FIXED WITH GALVANISED FLATHEAD NAILS (2.8mm x 30mm LONG)
 STUDS - 1 NAIL
 TOP AND BOTTOM PLATES - 2 NAILS ON PLATE EDGE, 4 NAILS ON STRAP WRAPPED OVER TOP PLATE AND UNDER BOTTOM PLATE.
 BRACING IS TO BE TENSIONED AFTER INSTALLATION.

METAL STRAP 30mm WIDE x 0.8mm THICK, LOOPED OVER PLATE AND FIXED TO STUD WITH 4V GALVANISED FLATHEAD NAILS (2.8mm x 30mm LONG) EACH END



PB-A PLYWOOD BRACING (AS1684)
 3.4kN PER METRE

STRUCTURAL OS BRACEBOARD BRACING TO AS/NZS 1859.4
 BOARD TO BE FIXED WITH GALVANISED FLATHEAD NAILS (2.8mm x 30mm LONG)
 TOP AND BOTTOM EDGES - NAILS AT 150mm SPACING, VERTICAL EDGES - NAILS AT 150mm SPACING, INTERMEDIATE STUDS - NAILS AT 300mm SPACING

LEGEND

- NEW TIMBER FRAME WALLS
- MODIFIED EXISTING WALLS
- LINTELS

WALL FRAMING LAYOUT

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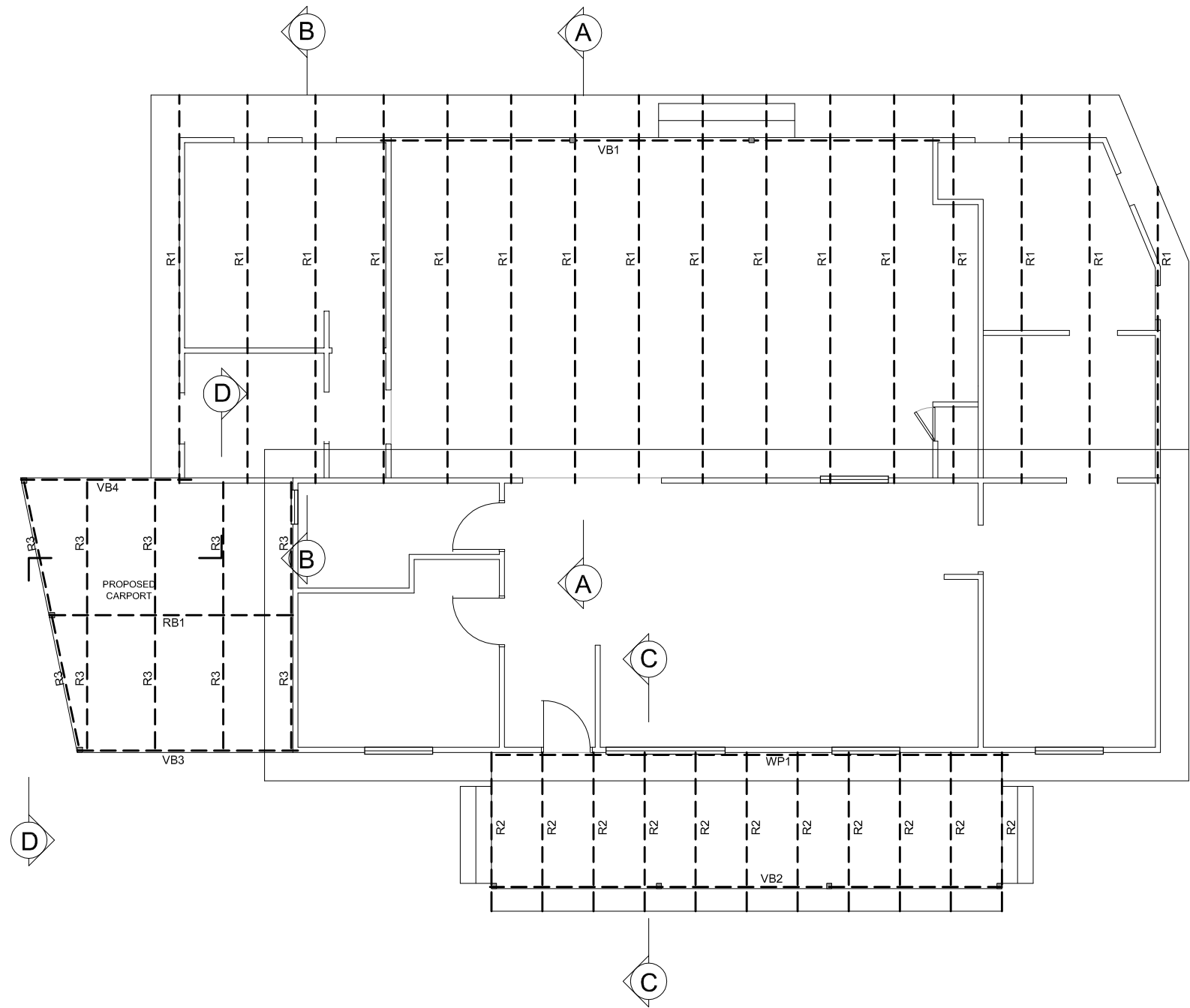
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ROOF FRAMING LAYOUT

SCALE 1:100

- BEAMS:**
 RB1 - 240x63 LVL or 290x45 MGP10 or 2/240x35 MGP10
 VB1 - 200x63 LVL or 210x55 GL13 or 125PFC
 VB2 - 190x45 MGP10
 VB3 - 240x35 MGP10
 VB4 - 140x45 MGP10
- RAFTERS:**
 R1- 290x45 MGP10 AT 1200 MAX CTS. ADJUST SPAN TO SUIT 6M LENGTH AND ADD OUTRIGGERS FOR EAVES
 or
 240x63 LVL AT 1200 MAX CTS
 R2- 120x45 MGP10 AT 900 MAX CTS.
 R3- 120x45 MGP10 AT 1200 MAX CTS.
- WALL PLATE:**
 WP1- 120x35 FIXED TO WALL WITH BUGLE SCREWS AT 600 CTS
- PURLINS:**
 90x45 ON FLAT AT 900 MAX. CENTRES (NOT SHOWN)
- CEILING JOISTS:**
 90x35 AT 600 MAX. CENTRES UP TO 1700 SPAN (NOT SHOWN)
 90x45 AT 600 MAX. CENTRES UP TO 2200 SPAN (NOT SHOWN)
- FACSIAS:**
 188x30 LOSP PRIMED

ALL TIMBER FRAMING TO BE F7 OR MGP10 PINUS MINIMUM GRADE
 FIX BEAMS AND RAFTERS TOGETHER WITH "JOIST HANGER BRACKETS"



TIE DOWN SCHEDULE		WIND SPEED N2 (33mps)
CODE	TIE DOWN	NOTES
TD01	BATTENS TO RAFTERS	PURLIN TO RAFTER 1/100MM NO. 14 TYPE 17 SCREW
TD02	TRUSS TO WALL FRAME	TRIPLE GRIP TO BOTH SIDES or 1/30x0.8 GI STRAP OVER RAFTER WITH 4xØ2.8 NAILS EACH END ON ALL RAFTERS
TD03	TOP AND BOTTOM PLATE	1/30x0.8 GI STRAP OVER TOP AND BOTTOM PLATES AND ALONG STUD 250mm MIN. WITH 6xØ2.8 NAILS EACH END- EVERY 2nd STUD
	FOR OPENINGS	1/30x0.8 GI STRAP OVER TOP AND BOTTOM PLATES AND ALONG STUD 250mm MIN. WITH 6xØ2.8 NAILS EACH END. 1/30x0.8 GI STRAP OVER TOP PLATE AND DOWN LINTEL WITHIN 100mm OF EACH RAFTER WITH 6xØ2.8 NAILS EACH END. M10 BOLT or 2/100MM NO. 14 TYPE 17 SCREWS EACH SIDE OF OPENINGS
	BEAM TO TIMBER POST	USE 2/M10 GALV BOLTS TO TIMBER POSTS
TD04	BOTTOM PLATE TO JOIST	1/100MM NO. 14 TYPE 17 SCREW AT 1200 MAX CENTRES
	JOIST TO BEARER	TRIPLE GRIP TO ONE SIDE or 1/30x0.8 GI STRAP OVER RAFTER WITH 3xØ2.8 NAILS EACH END ON ALL JOISTS
	BEARER STUMP	2/M10 GALV BOLTS THROUGH BEARER AND STUMP

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ROOFING LAYOUT

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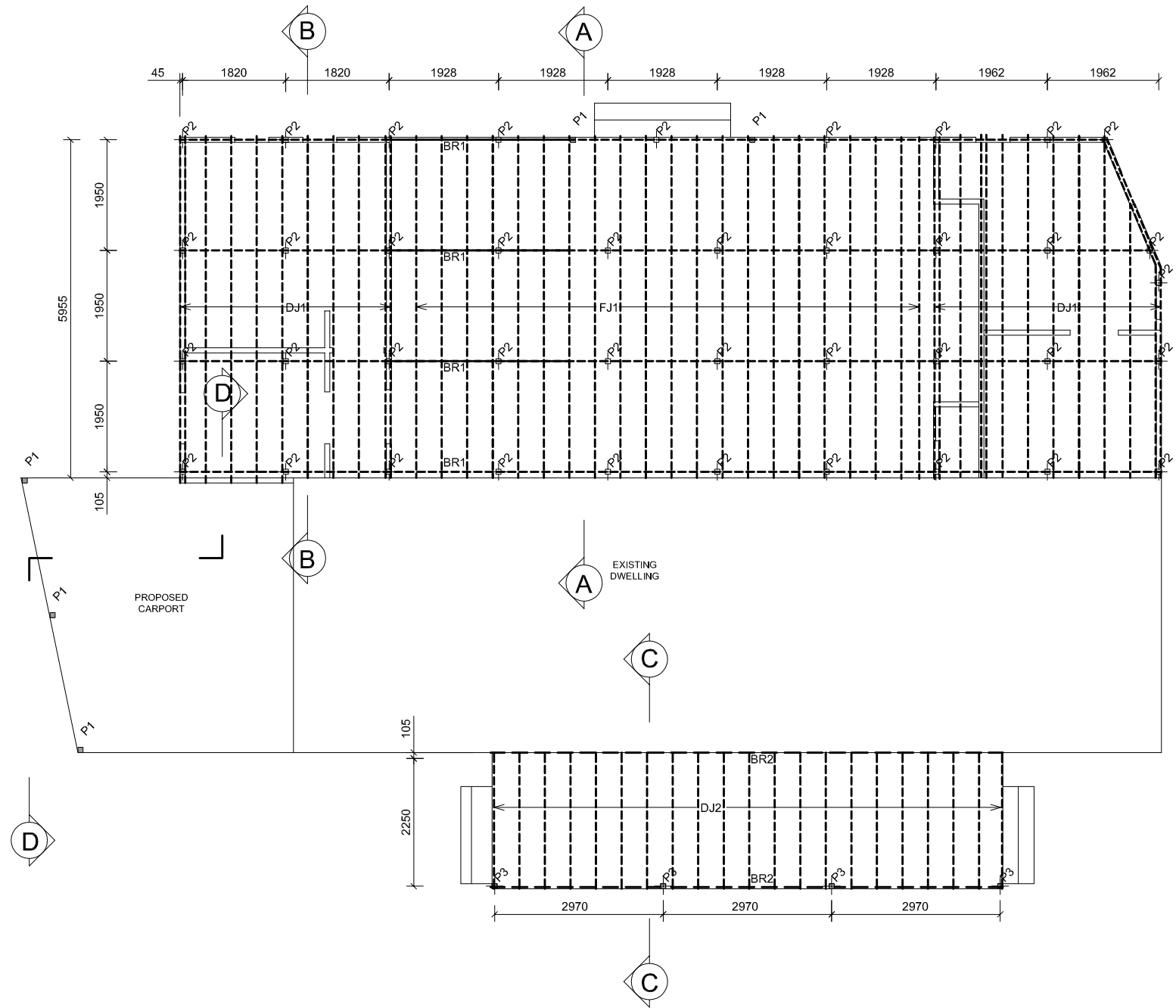


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FLOORING LAYOUT

SCALE 1:100

- BEARERS:** BR1 = 2/140x35 MGP10 H3 TREATED PINE or 130x63 LVL
BR2 = 2/190x35 MGP10 H3 TREATED PINE or 200x63 LVL
- FOOTINGS/STUMPS:** P1 = 90x90 H3 TREATED PINE POSTS ON STIRRUPS / H4 IF EMBEDDED IN CONCRETE
P2 = 90x90 H3 TREATED PINE STUMPS ON STIRRUPS / H4 IF EMBEDDED IN CONCRETE
P3 = 90x90 H3 TREATED PINE POSTS ON STIRRUPS / H4 IF EMBEDDED IN CONCRETE
- FLOOR JOISTS:** FJ1 = 120x45 MGP10 H3 TREATED PINE AT 450 MAX. CENTRES
- FLOORING:** 19mm YELLOWTOUNGE STUCTAFLOR
- DECKING JOISTS:** DJ1 = 120x35 MGP10 H3 TREATED PINE AT 450 MAX. CENTRES
DJ2 = 140x45 MGP10 H3 TREATED PINE AT 450 MAX. CENTRES
- DECKING:** 120x19 - TO BE SELECTED BY OWNER
- FIX DECKING TO FLOOR JOISTS WITH MINIMUM 50x2.8 TWIST SHANK GALV NAILS OR SCREWS.**



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FLOORING LAYOUT

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FOOTING LAYOUT

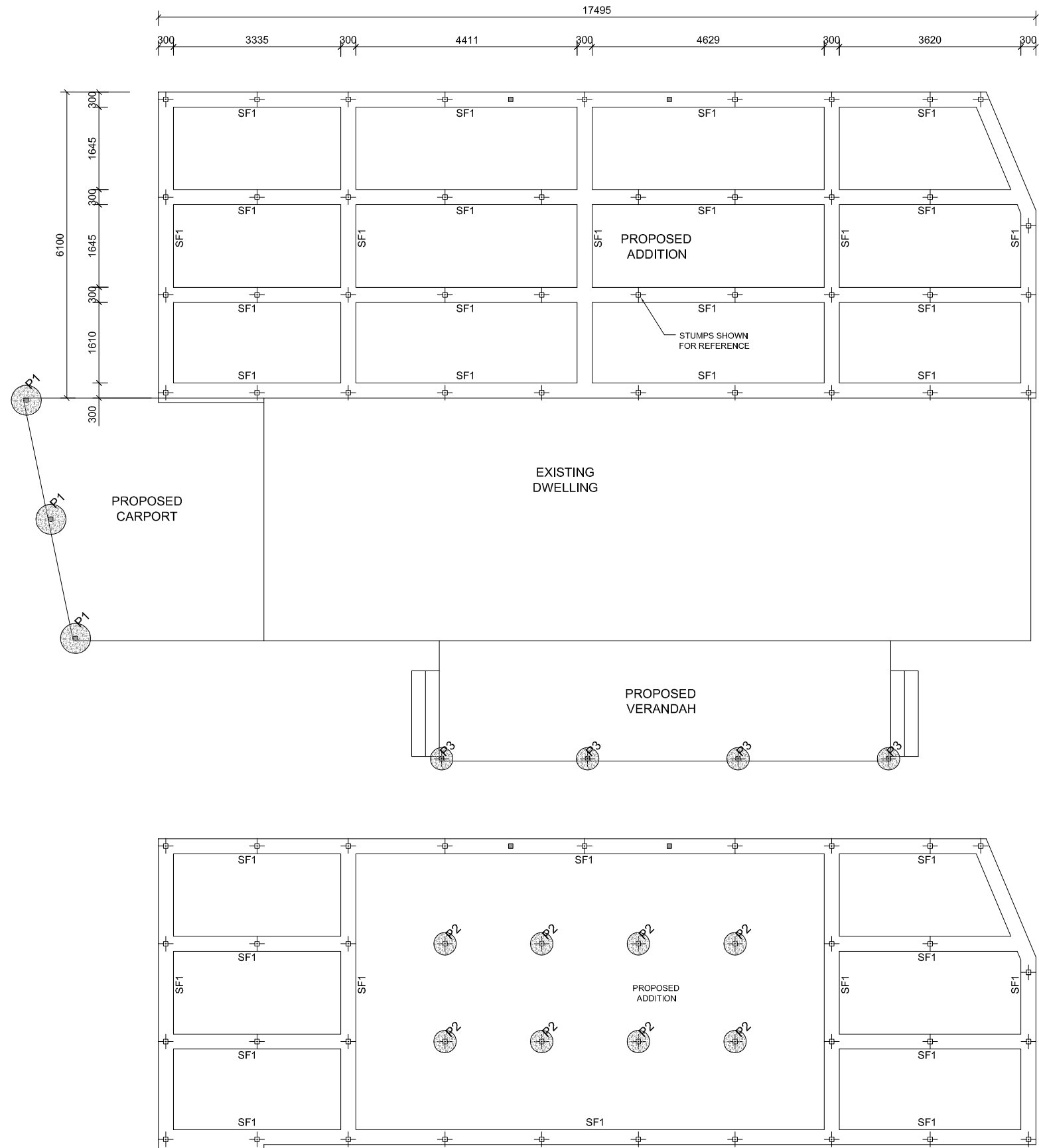
SCALE 1:50

1. FOOTING BEAMS TO BE FOUNDED A MINIMUM OF 100MM INTO NATURAL GROUND.
2. FLEXIBLE CONNECTIONS TO BE USED FOR PLUMBING AND STORMWATER PIPES.
3. PIPES TO BE LAGGED WITH 20mm CLOSED CELL POLYETHYLENE OR SIMILAR.
4. PIPES NEAR BASE OF TRENCH MUST HAVE A MINIMUM OF 100mm OF CONCRETE BELOW PIPE TO BE CONTINUES FOR 1M EACH SIDE OF PIPE.
5. FOOTINGS TO NCC Table 3.2.5.7b 'Dimensions and reinforcement for strip footing systems for Class M-D sites'

FOOTING SCHEDULE			
BEAM	SIZE	REINFORCEMENT	LIGITURES
SF1	300W x 500D	3-N12 TOP & BOTTOM	N/A

CONCRETE GRADE N20

-  P1 = Ø600x750 DEEP N20 CONCRETE FOOTINGS FOUNDED MIN. 150mm INTO FIRM NATURAL SOIL
-  P2 = Ø450x750 DEEP N20 CONCRETE FOOTINGS FOUNDED MIN. 150mm INTO FIRM NATURAL SOIL
-  P3 = Ø450x750 DEEP N20 CONCRETE FOOTINGS FOUNDED MIN. 150mm INTO FIRM NATURAL SOIL



OPTIONAL FOOTING LAYOUT

SCALE 1:50

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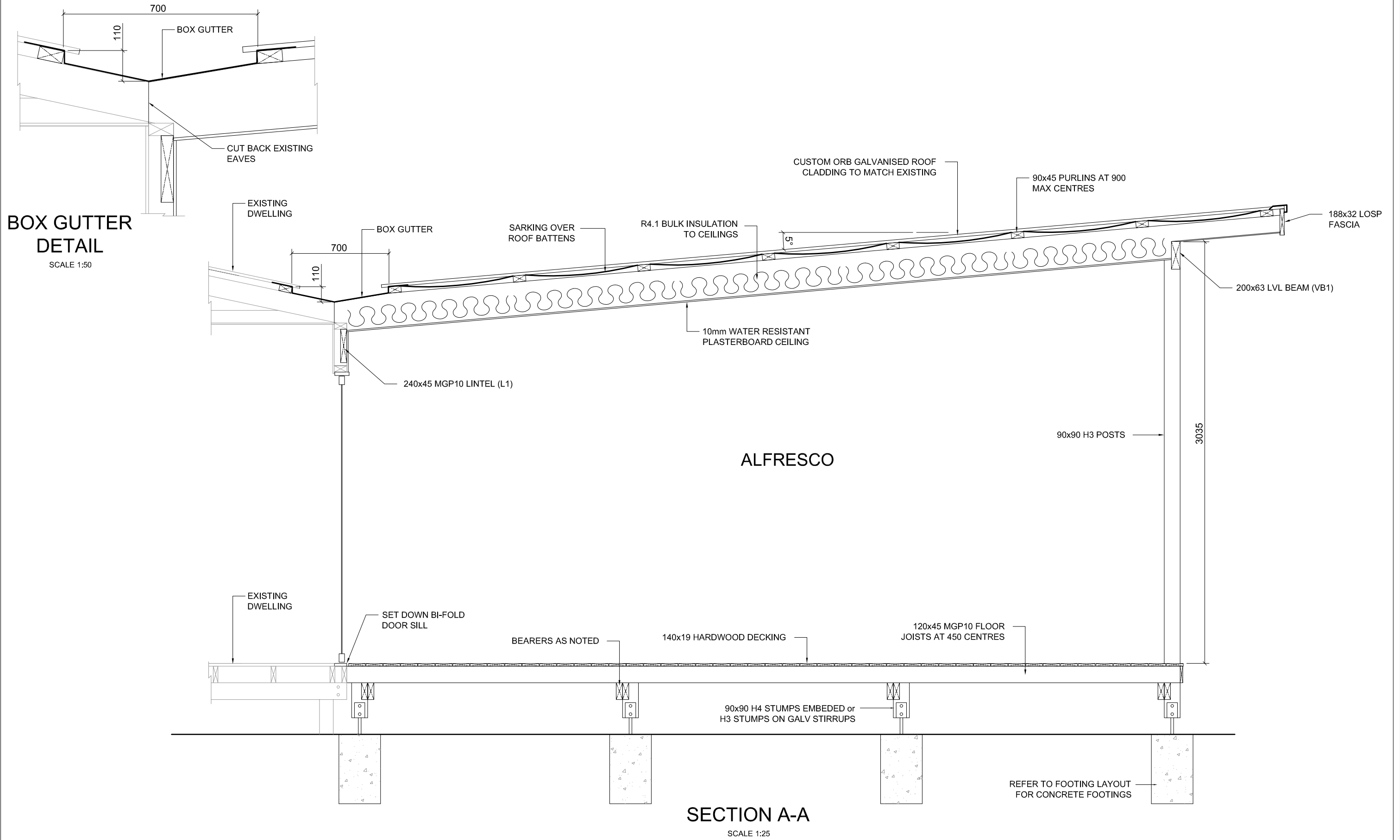
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**BOX GUTTER
DETAIL**
SCALE 1:50

SECTION A-A
SCALE 1:25

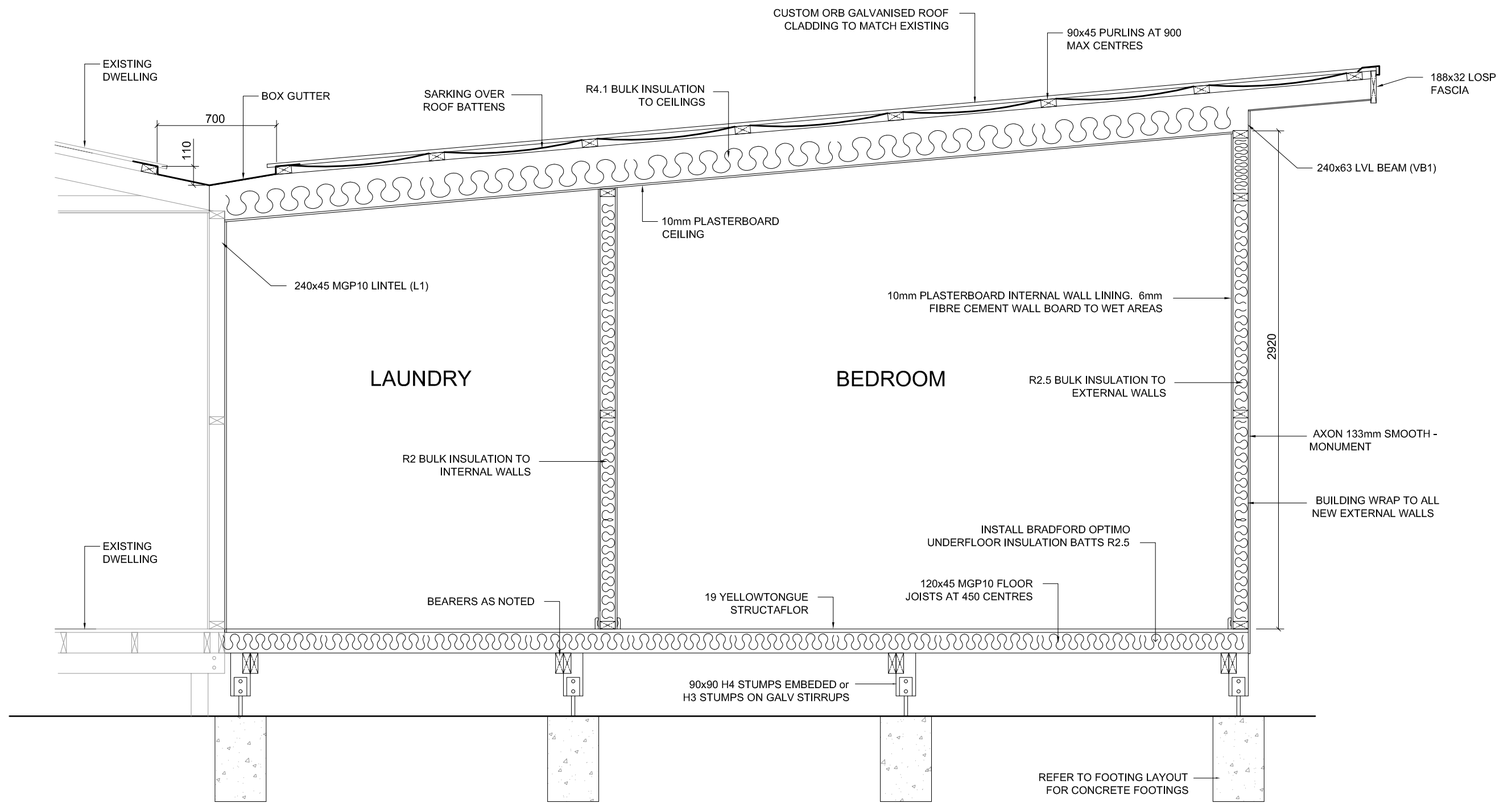
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SECTION B-B

SCALE 1:25

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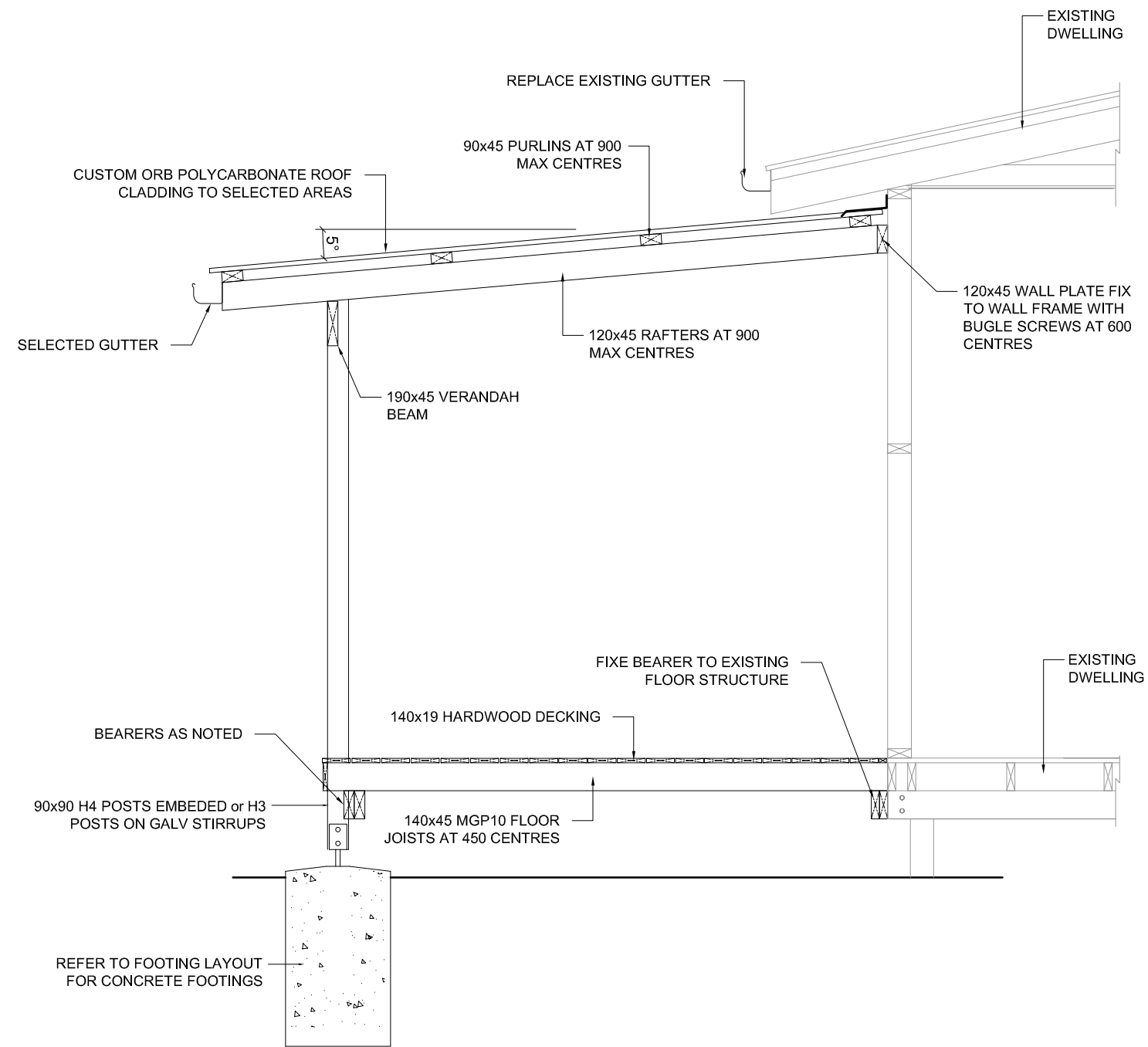
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SECTION C-C

SCALE 1:25

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WASTE WATER LAYOUT







SCALE 1:100

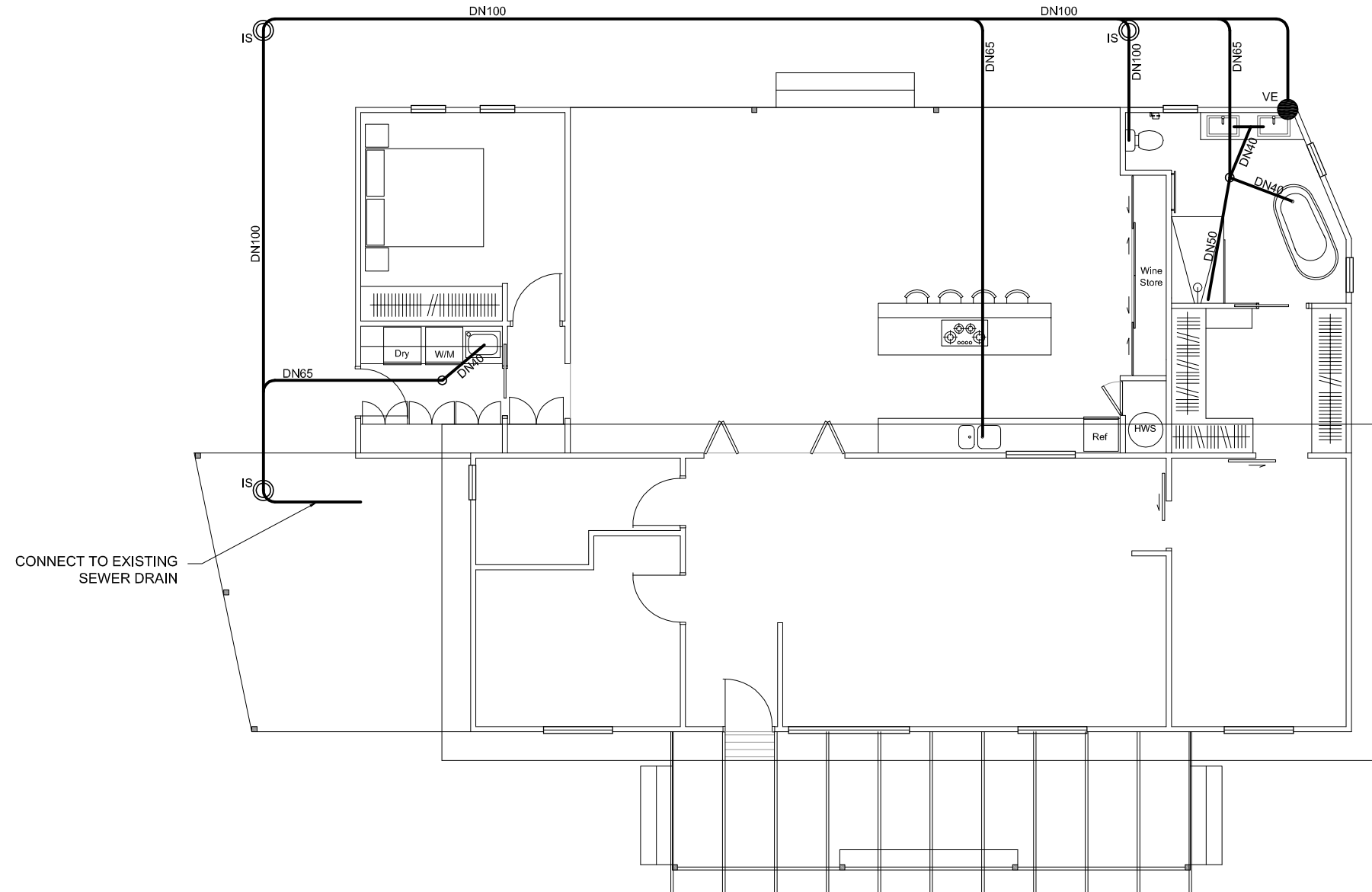
- FALL: DN100 MINIMUM FALL 1:60
DN65 MINIMUM FALL 1:40
- FLOOR WASTE: EN-SUITE - 65DN FLOOR WASTE GULLY WITH 80DN RISER
- SHOWER: EN-SUITE - 80x50 TAPERED GRATE WITH 50DN UNTRAPPED WASTE
- VANITY BASIN: DN40 TRAPPED WASTE
- BATH: DN40 TRAPPED WASTE
- KITCHEN SINK: DN50 DOUBLE BOWL CONNECTOR AND TRAP
- TOILET: 100DN

ALL PLUMBING WORKS MUST BE IN ACCORDANCE WITH AS/NZS 3500.

ALL DETAILS TO BE CONFIRMED ON SITE BY PLUMBER. IF IN DOUBT CONTACT STEVE LAYTON DESIGN

LEGEND

- IS  - INSPECTION SHAFT TO 100mm OF SURFACE 100DN
- IO  - INSPECTION OPENING 100DN
- OG  - OVERFLOW RELIEF GULLY 100DN
- VE  - VENT 50DN UPSTREAM
- DN100  - SEWER DRAIN 100DN
- DN65  - SEWER DRAIN 65DN
- - SEWER DRAIN EXISTING
- (E) - EXISTING



PROJECT: Addition to Existing Dwelling
 CLIENT: Mike and Trinh Richards
 SITE ADDRESS: 5 Shephard Road ALDINGA BEACH SA 5173

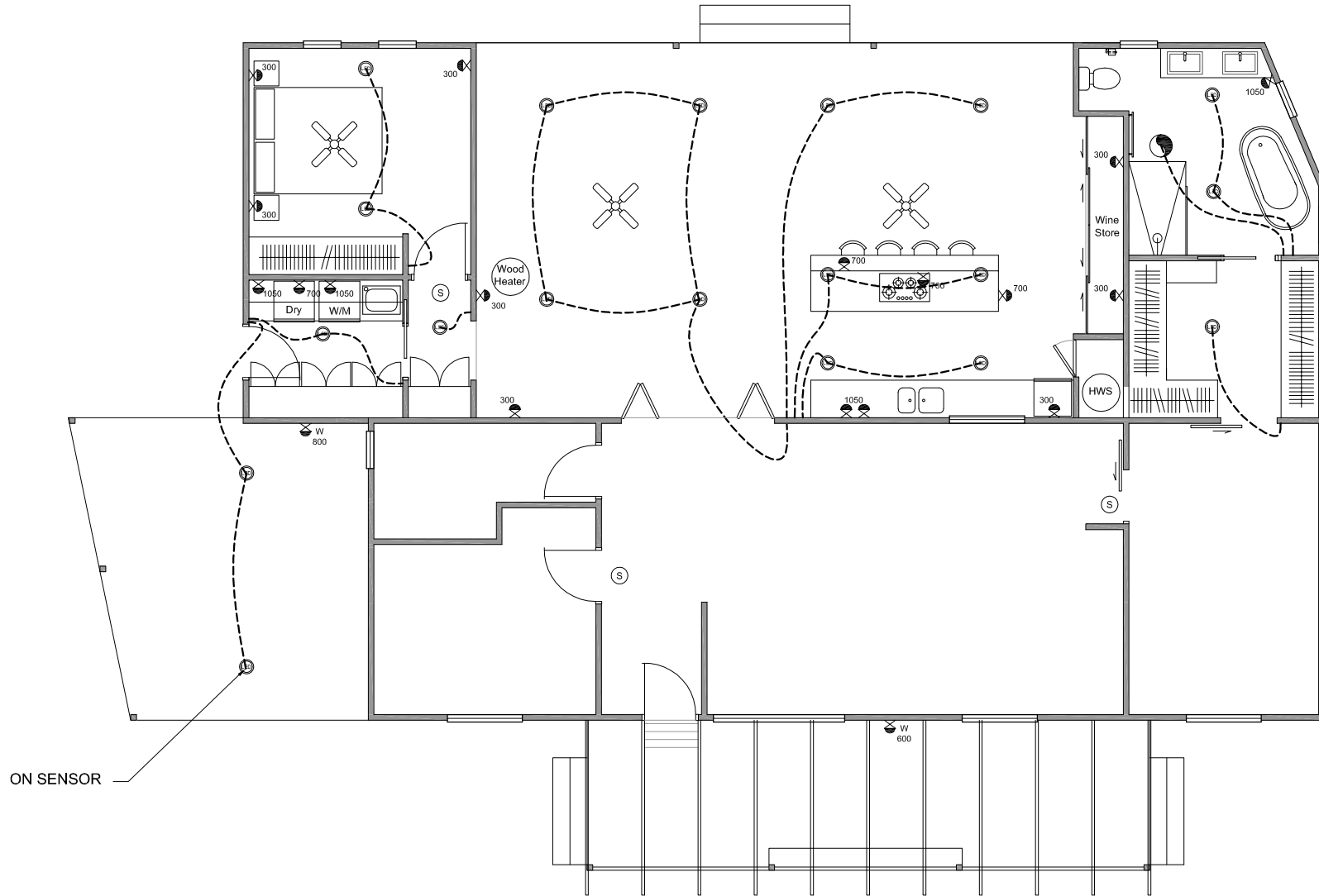
WASTEWATER LAYOUT

SCALE: 1:100 UNO
 DRAWN BY: S.LAYTON
 DATE: 5 Apr2022

Rev.	Remarks	Date
A	Issued for Planning Approval	5APR22
B	Issued for Building Approval	2Aug22



10 WIGLEY DRIVE
 McLAREN VALE
 Mob: 0448 656 254
 Email: stevelaytondesign@bigpond.com
 ABN: 40 248 246 245



LIGHTS

- - STANDARD LIGHT
- ⊙ - SEALED LED DOWNLIGHT
- - WALL MOUNTED LIGHT

ELECTRICAL

- ⊗ - DOUBLE POWERPOINT
- ⊗ - SINGLE POWERPOINT
- ⊗ - DOUBLE P/POINT WEATHERPROOF
- ⊗^w - SINGLE P/POINT WEATHERPROOF
- ⊙ - EXHAUST FAN
- ⊙ - SMOKE DETECTOR
- AC - SPLIT SYSTEM AIR CONDITIONER
- ⊗ - CEILING FAN
- ⊗ - CEILING FAN WITH LED LIGHT
- SP - SPEAKER
- ⊔ - TV OUTLET
- IS - COOKTOP ISOLATION SWITCH

ELECTRICAL LAYOUT

SCALE 1:100

NOTE:
 BUILDER TO CONFIRM ELECTRICAL LAYOUT WITH
 OWNER PRIOR TO INSTALLATION

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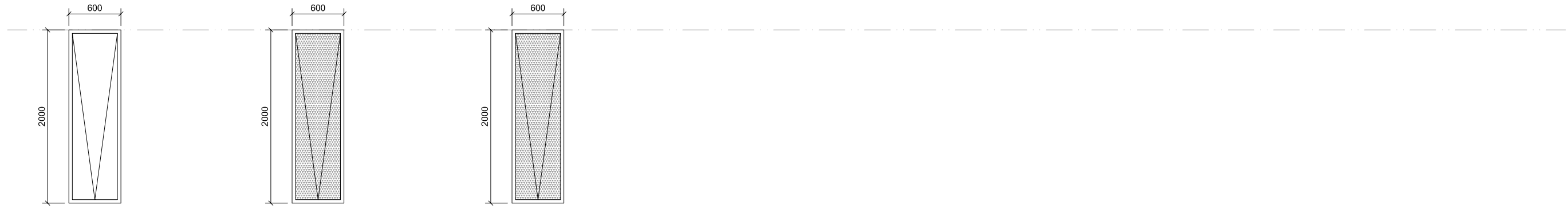
ELECTRICAL LAYOUT

SCALE: 1:100 UNO
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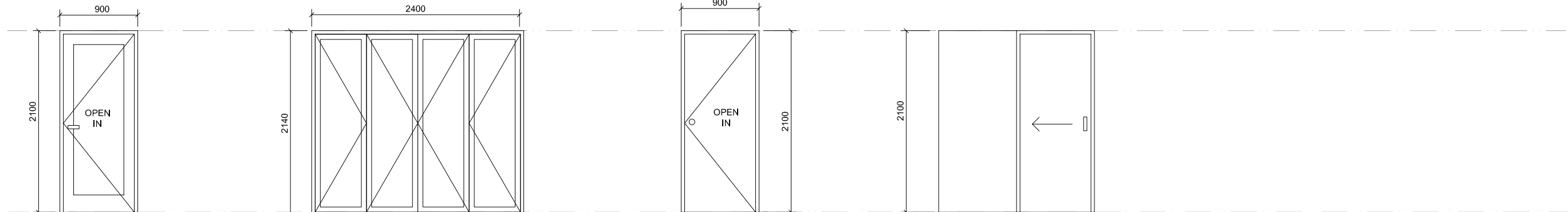
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W1, W2 -2000x600
ALUMINIUM AWNING WINDOW
SINGLE GLAZING
QTY 2

W3, W4 -2000x600
ALUMINIUM AWNING WINDOW
SINGLE GLAZING - OBSCURE
QTY 2

W5 -2000x600
ALUMINIUM FIXED WINDOW
SINGLE GLAZING - OBSCURE
QTY 1



D1 - 2100x900 (2040x820)
GLAZED ALUMINIUM EXTERNAL
GRADE DOOR
SINGLE GLAZING
QTY 1

D2 - 2140x2450
ALUMINIUM BI-FOLD DOOR
SINGLE GLAZING
QTY 1

D3 - 2040x820
SOLID CORE
INTERNAL DOOR
QTY 1

D4 - 2040x8200
SOLID CORE
CAVITY SLIDER
QTY 2

NOTE:
 1. SITE MEASURE ALL WINDOWS & DOORS PRIOR TO MANUFACTURE
 2. GLAZING PERFORMANCE VALUES TO BE $U = 5.8_{max}$. and $SHGC = 0.66$
 REFER TO ENERGY EFFICIENCY REPORT FOR DETAILS.
 3. CONFIRM GLAZING REQUIREMENTS WITH OWNER

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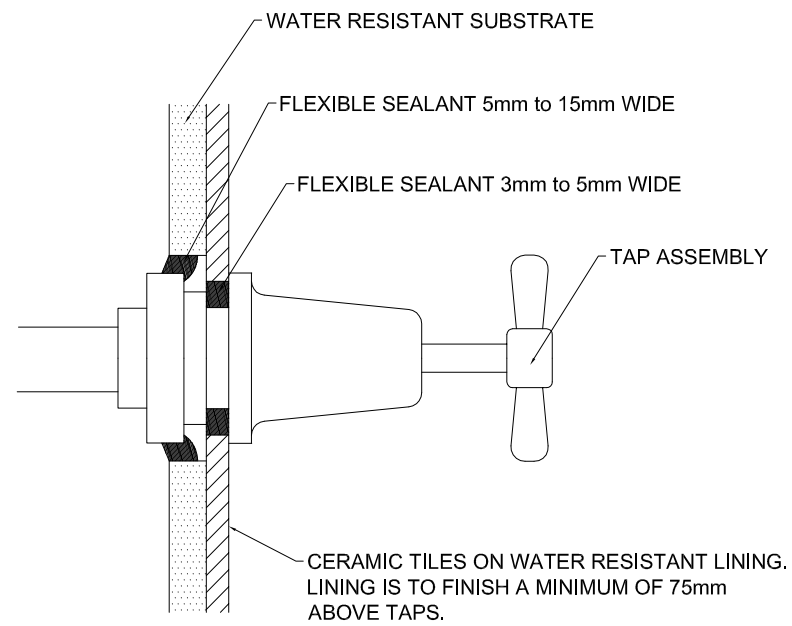
WINDOW SCHEDULE

SCALE: 1:50 UNO
 DRAWN BY: S.LAYTON
 DATE: 5 Apr2022

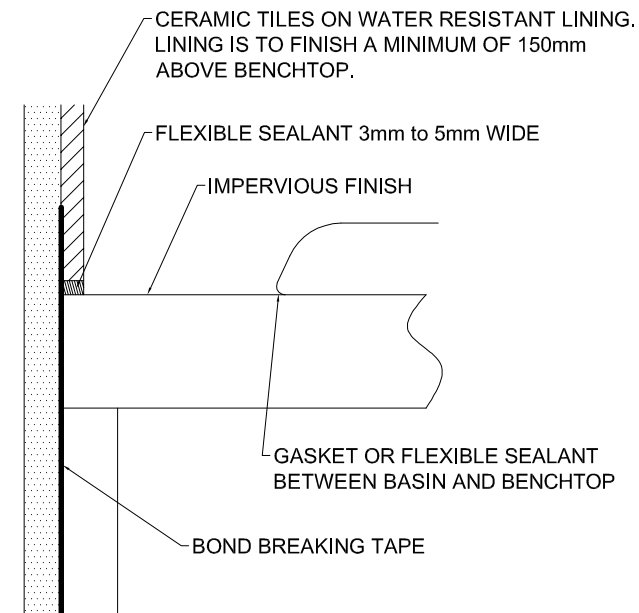
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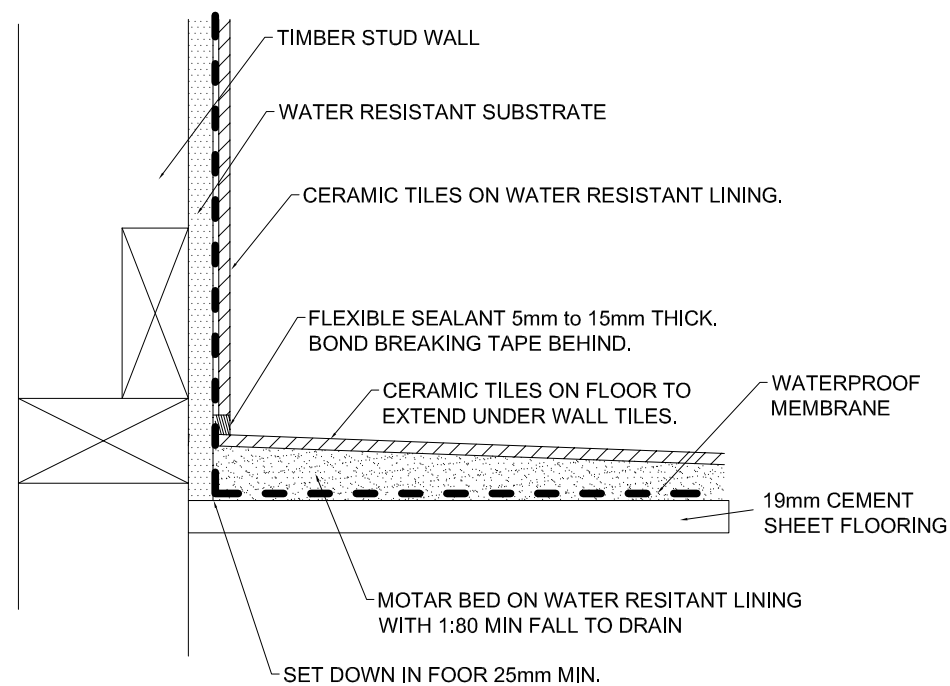
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TAP PENETRATION OF IMPERVIOUS WALL



JUNCTION OF VANITY TOP AND IMPERVIOUS WALL



WET AREA AND SHOWER ALCOVE DETAIL - TIMBER FLOOR

PROJECT: Addition to Existing Dwelling
 CLIENT: Mike and Trinh Richards
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DETAILS

SCALE: N.T.S.
 DRAWN BY: S.LAYTON
 DATE: 5 Apr2022

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